



E1 EXTERIOR ELEVATION FRONT
1/4" = 1' FT

ELEVATIONS

UNIT (A)S1 LOT FLOOR LIVING AREA	381' UNIT (B)C1	104P
UNIT (A)S1 LOT FLOOR LIVING AREA	133' UNIT (B)C2	141V
UNIT (A)S1 TOTAL LIVING AREA	2nd UNIT (B)C2	283A
UNIT (A)S1 COVERED PORCH AREA	1'W UNIT (B)C2	161'
UNIT (A)S1 COVERED PORCH AREA	94' UNIT (B)C1	452P
UNIT (A)S1 COVERED GARAGEPORT	21' UNIT (B)C1	143
UNIT (A)S1 BALCONY AREA	2'W UNIT (B)C1	380V
UNIT (A)S1 TOTAL COVERED AREA		

ELEVATIONS

TOWN HOME PROJECT
315 FAIRWAY DRIVE.
BRYAN TX



DATE:
12/19/2025
SCALE:
1/4" = 1'
SHEET:
A-1

[illegible]

E2 EXTERIOR ELEVATION LEFT
1/4 IN = 1 FT



E4 EXTERIOR ELEVATION RIGHT
1/4 IN. = 1 FT

TOWN HOME PROJECT
315 FAIRWAY DRIVE.
BRYAN TX



DATE:
12/19/2025
SCALE:
1/4" = 1'
SHEET:
A-2

UNIT (A2) 1ST FLOOR LIVING AREA	181	UNIT (B2)	1048
UNIT (A2) 2ND FLOOR LIVING AREA	1231	UNIT (B2)	1415
UNIT (A2) TOTAL LIVING AREA	2402	UNIT (B2)	2534
UNIT (A2) COVERED PORCHES	134	UNIT (B2)	341
UNIT (A2) COVERED GARAGE	117	UNIT (B2)	659
UNIT (A2) BALCONY	149	UNIT (B2)	149
UNIT (A2) TOTAL COVERED AREA	209	UNIT (B2)	3046

1. You the (Homeowner and/or Builder) are responsible for ensuring compliance with local building codes. Local building jurisdictions may require lateral analysis or other engineering services to be performed. Such services are best handled by those familiar with your local building codes. Only qualified personnel should undertake any revisions to these house plan sets. It is the responsibility of the builder to ensure all work is in accordance with the latest edition of all applicable National, State & Local Building Codes. It is the builder's responsibility to ensure all work is completed in accordance with the construction techniques or local and state ordinances or codes which will take precedence over plans.
2. Licensee should have a local "Residential engineer", electrical engineer, mechanical engineer or builder review the drawings as may be required for permits and construction. The foundation plan associated details are provided as a basic guide for a logical foundation system. This logical foundation design is not site or location specific. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if required. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if required. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if required. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if required.
3. Every attempt has been made in the preparation of drawings and specifications to avoid mistakes. It is the responsibility of the builder to verify all dimensions and details for accuracy. All dimensions should be field verified. Local conditions and the final selection materials such as masonry, floor joist, lumber, structural members, construction details, roofing, etc., all of which can create variations in dimensions and details.



E3 EXTERIOR ELEVATION BACK
1/4" = 1' FT

ELEVATIONS

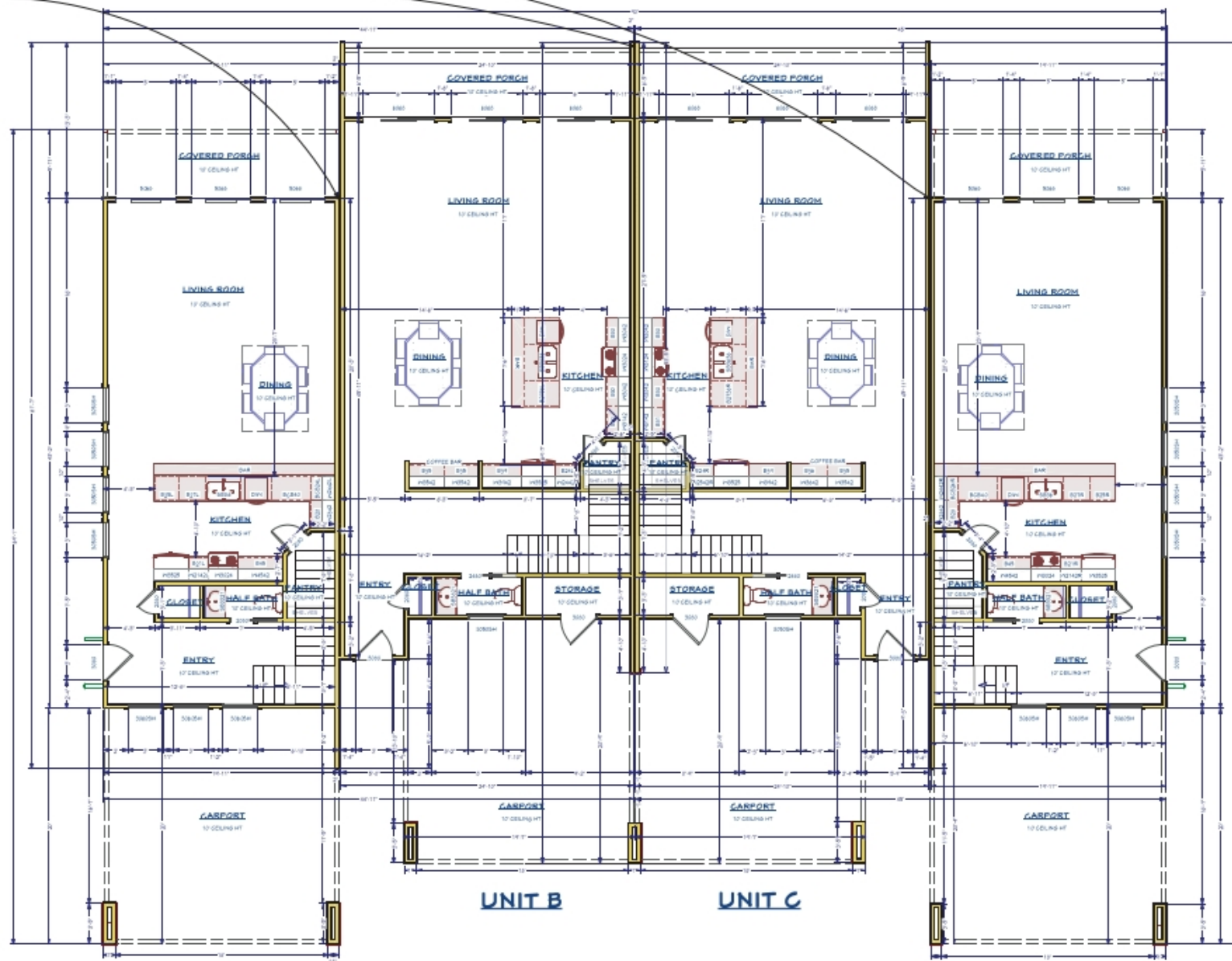
UNIT AREA (SQUARE FEET) AREA	1ST UNIT AREA	2ND UNIT AREA
UNIT AREA (SQUARE FEET) AREA	1ST UNIT AREA	2ND UNIT AREA
UNIT AREA (SQUARE FEET) AREA	1ST UNIT AREA	2ND UNIT AREA
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UNIT AREA (SQUARE FEET) AREA	1ST UNIT AREA	2ND UNIT AREA
UNIT AREA (SQUARE FEET) AREA	1ST UNIT AREA	2ND UNIT AREA

ELEVATIONS

TOWN HOME PROJECT
315 FAIRWAY DRIVE,
BRYAN TX



DATE:
12/19/2025
SCALE:
1/4" = 1'
SHEET:
A-3



1ST FLOOR PLAN

○ 1ST FLOOR
1/4 IN = 1 FT

UNIT D

- [illegible]

WINGS PROVIDED BY:
TERRY COLLINS & ASSOCIATES
CUSTOM HOME DESIGN

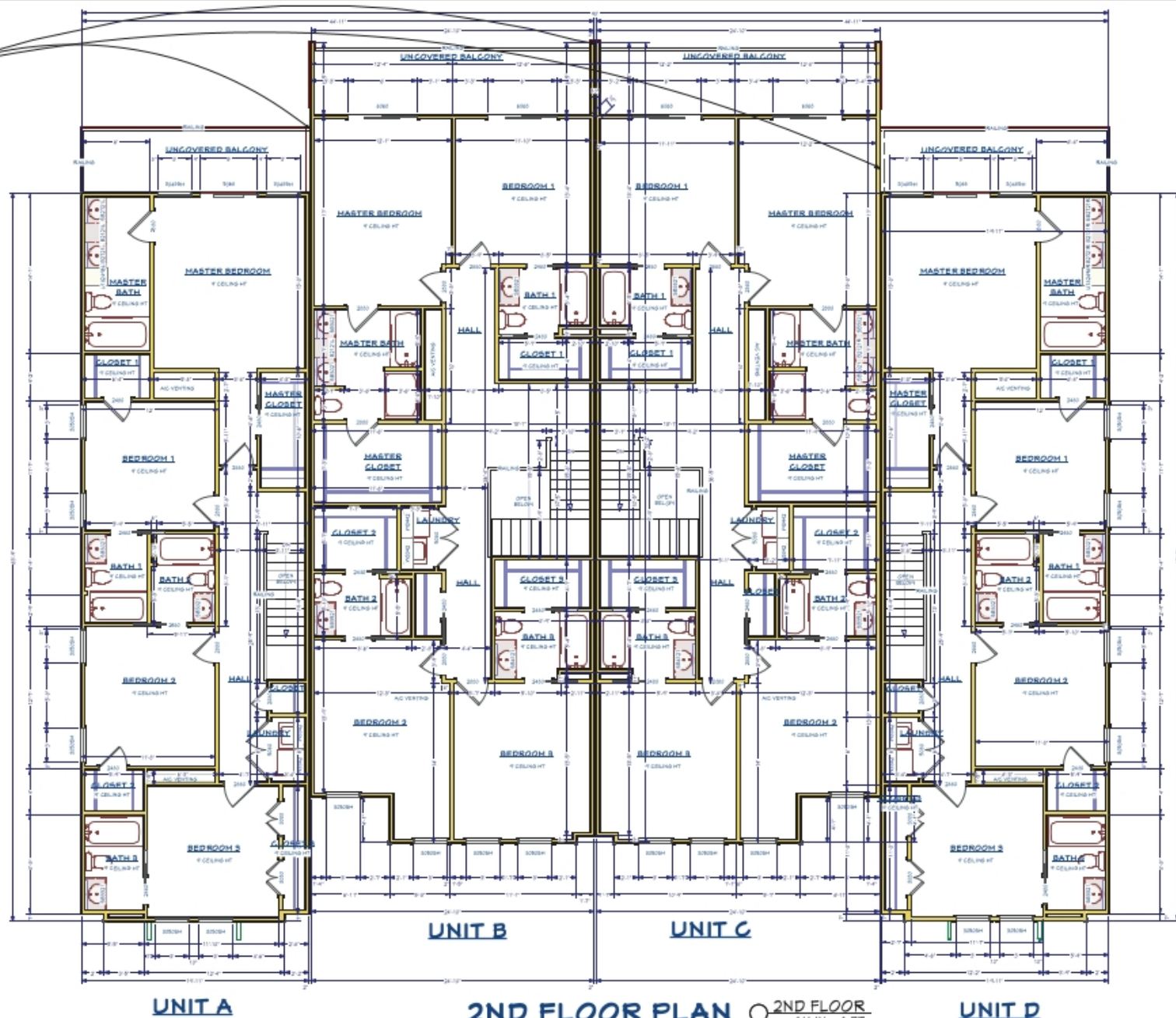
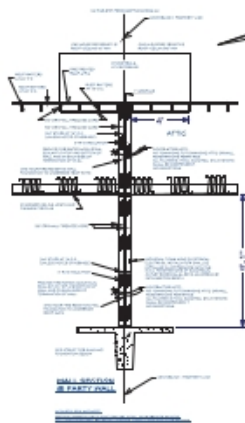
TOWN HOME PROJECT
315 FAIRWAY DRIVE.
BRYAN TX

FLOOR PLAN

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DATE:
12/19/2025
SCALE:
1/4" = 1'
SHEET:
A-4

- You the (Homeowner and/or Builder) are responsible for ensuring compliance with local building codes. Local building jurisdictions may require lateral analysis or other engineering services to be performed. Such services are best handled by those familiar with your local building codes. Only qualified personnel should undertake any revisions to these floor plan sets. It is the responsibility of the builder to ensure all work is in accordance with the latest edition of all applicable National, State & Local Building Codes. It is the builder's responsibility to ensure all work is completed in accordance with the construction techniques or local and state ordinances or codes which will take precedence over plans.
- Licenses should have a local "structural engineer", electrical engineer, mechanical engineer or builder review the drawings as may be required for permits and construction. The foundation plan associated details are provided as a basic guide for a structural foundation system. This foundation design is not site or location specific. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if design is not site or location specific. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if design is not site or location specific. Licensee should have a local licensed engineer review these plans and provide a site-specific foundation design if design is not site or location specific.
- Every attempt has been made in the preparation of drawings and specifications to avoid mistakes. It is the responsibility of the builder to verify all dimensions and details for accuracy. All dimensions should be field verified. Local conditions and the final selection materials such as masonry, floor joist, lumber, structural members, construction panels, roofing, etc., all of which can create variations in dimensions and details.



DRAWINGS PROVIDED BY:

TOWN HOME PROJECT
315 FAIRWAY DRIVE,
BRYAN TX

FLOOR PLAN

A-5

SHEET:

SCALE:

1/4" = 1'

DATE:

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ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

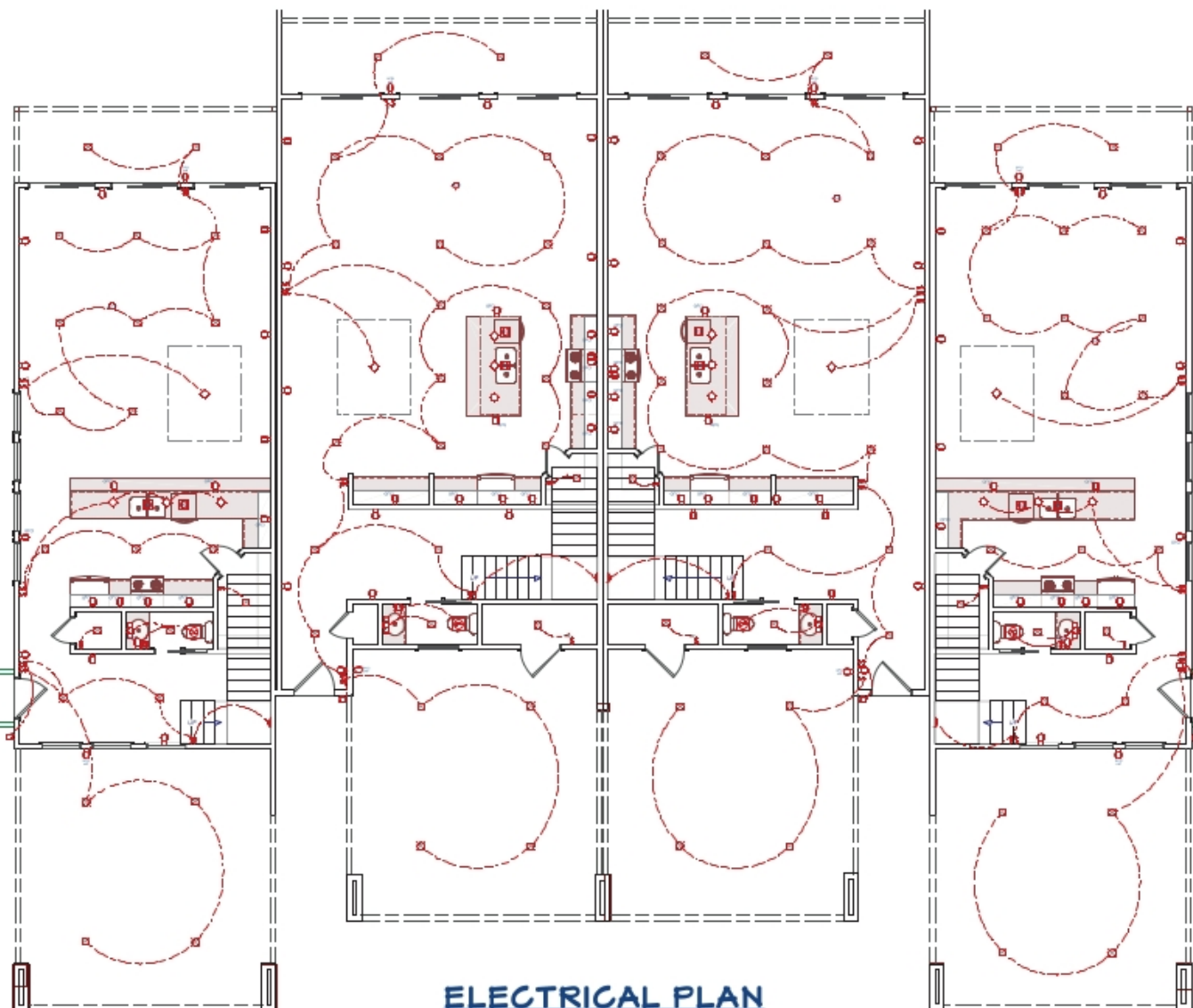
GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6' ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

1. ALL ELECTRICAL TO BE DONE IN ACCORDANCE WITH LATEST 2023 N.E.C. & LOCAL CODES
2. LOCATE ALL METEER LOCATIONS FOR SERVICE GROUPS
3. LOCATE ALL PICTURE LOCATIONS WITH OWNER
4. ALL BEDROOM OUTLETS SHOULD BE ARC-FAULT PROTECTED
5. ALL MET AREA OUTLETS TO BE G.F.C.I. PROTECTED
6. PROVIDE OUTLET & LIGHTING IN ATTIC
7. PROVIDE SMOKE & CO DETECTORS @ PROPER LOCATIONS
8. ALL PLUMBING TO BE DONE IN ACCORDANCE WITH LATEST STATE & LOCAL PLUMBING CODES

[illegible]

- All receptacles in the kitchen serving the counter top or within 6 feet of a sink are required to be GFCI
- All receptacles outside are required to be IMP-GFCI.
- Smoke Alarms are required inside and outside each sleeping area per IRC 2001 Chapter R314.
- CO Detectors are required outside each sleeping area per IRC 2001 Chapter R315.



ELECTRICAL PLAN

○ 1ST FLOOR
1/4 IN = 1 FT

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed (Recessed Light Lenses <u>Not</u> Indicated)
	Wall Mounted Light Fixtures: Recessed, Wall Mounted, Wall Scones
	Chandelier Light Fixture
	Fluorescent Light Fixture
	200V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 2-Way, 4-Way
	Knobless Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TCoable
	Telephone Jack
	Intercom
	Thermostat
	Door Chimes, Door Bell Buttons
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

UNIT (A)S 1ST FLOOR LIVING AREA	187' UNIT (B)C2	1304'
UNIT (A)S 2ND FLOOR LIVING AREA	133' UNIT (B)C2	1415'
UNIT (A)S TOTAL LIVING AREA	320' UNIT (B)C2	2554'
UNIT (A)S 2ND FLOOR PORCH AREA	242' UNIT (B)C2	341'
UNIT (A)S 2ND FLOOR GARAGE	115' UNIT (B)C2	459'
UNIT (A)S BALCONY	91' UNIT (B)C2	143'
UNIT (A)S TOTAL COVERED AREA	558' UNIT (B)C1	3066'

ELECTRICAL PLAN

TOWN HOME PROJECT
315 FAIRWAY DRIVE.
BRYAN TX



DATE: 12/16/2025

SCALE:

SHEET:

A-6

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

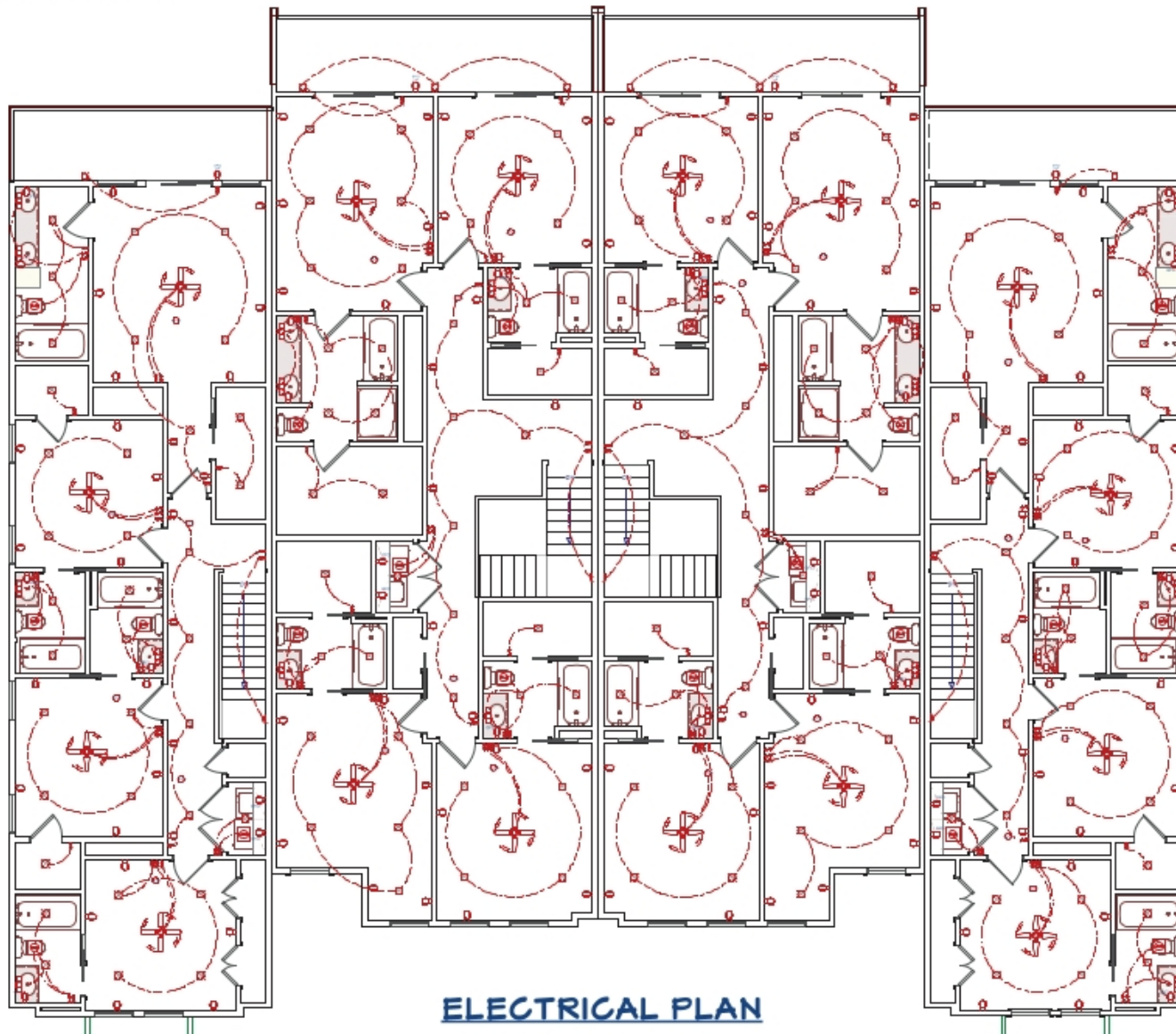
UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

1. ALL ELECTRICAL TO BE DONE IN ACCORDANCE WITH LATEST 2020 N.E.C. & LOCAL CODES
2. LOCATE ALL METER LOCATIONS FOR SERVICE DROPS

3. LOCATE ALL FIXTURE LOCATIONS WITH OWNER
4. ALL BEDROOM OUTLETS SHOULD BE ARC-FAULT PROTECTED
5. ALL KITCHEN AREA OUTLETS TO BE GFCI PROTECTED
6. PROVIDE OUTLET & LIGHTING IN ATTIC
7. PROVIDE SMOKE & CO DETECTORS @ PROPER LOCATIONS
8. ALL PLUMBING TO BE DONE IN ACCORDANCE WITH LATEST STATE & LOCAL BUILDING CODES

[illegible]

- All receptacles in the kitchen serving the counter top on walls & feet of a sink are required to be GFCI
- All receptacles outside are required to be GFI-SPCL
- Smoke Alarms are required inside and outside each sleeping area per IRC 2004 Chapter R314.
- CO Detectors are required outside each sleeping area per IRC 2004 Chapter R315.



○ 2ND FLOOR
1/4 IN = 1 FT

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures, Surface/Pendant, Wall Mounted, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Recessed Light Fixture
	300V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 2-Way, 4-Way
	Switches, Dimmer, Timer
	Audio Video Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, Coaxial
	Telephone Jack
	Watermark
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

UNIT (A) 1ST FLOOR LIVING AREA	181' UNIT (B) C	1048
UNIT (A) 2ND FLOOR LIVING AREA	133' UNIT (B) C	1474
UNIT (A) TOTAL LIVING AREA	314' UNIT (B) C	2524
UNIT (A) COVERED PORCH AREA	161' UNIT (B) C	161
UNIT (A) COVERED GARAGE	94' UNIT (B) C	408
UNIT (A) TOTAL COVERED AREA	255' UNIT (B) C	570
UNIT (A) TOTAL COVERED AREA	314' UNIT (B) C	360

ELECTRICAL

PLAN

TOWN HOME PROJECT
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BRYAN TX

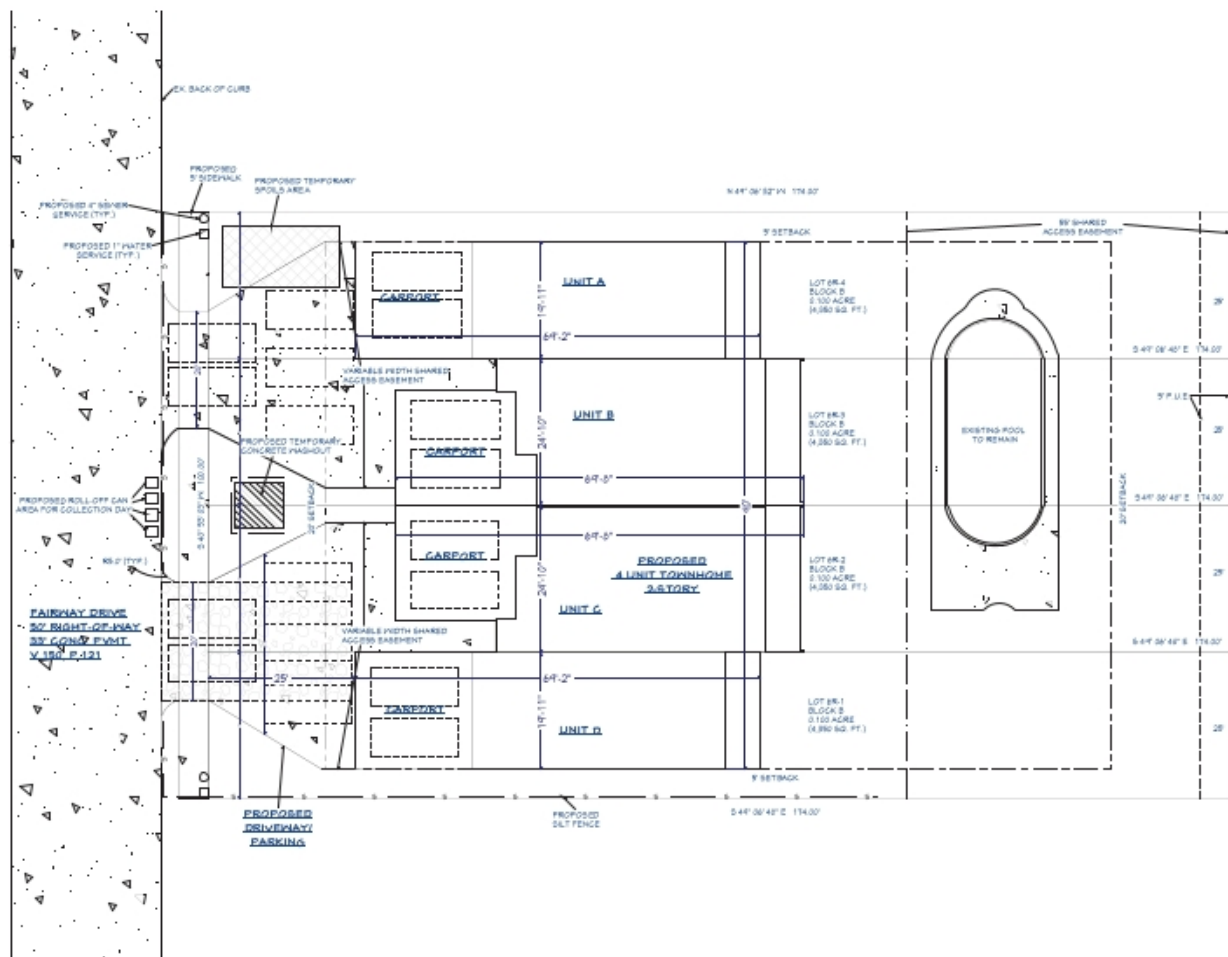


DATE: 12/16/2021

SCALE:

SHEET:

A-7

[illegible]

○ 1ST FLOOR
1/10 IN = 1 FT

PLOT PLAN

DRAWINGS PROVIDED BY:



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CUSTOM HOME DESIGN

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FRAMING DETAILS

[illegible]